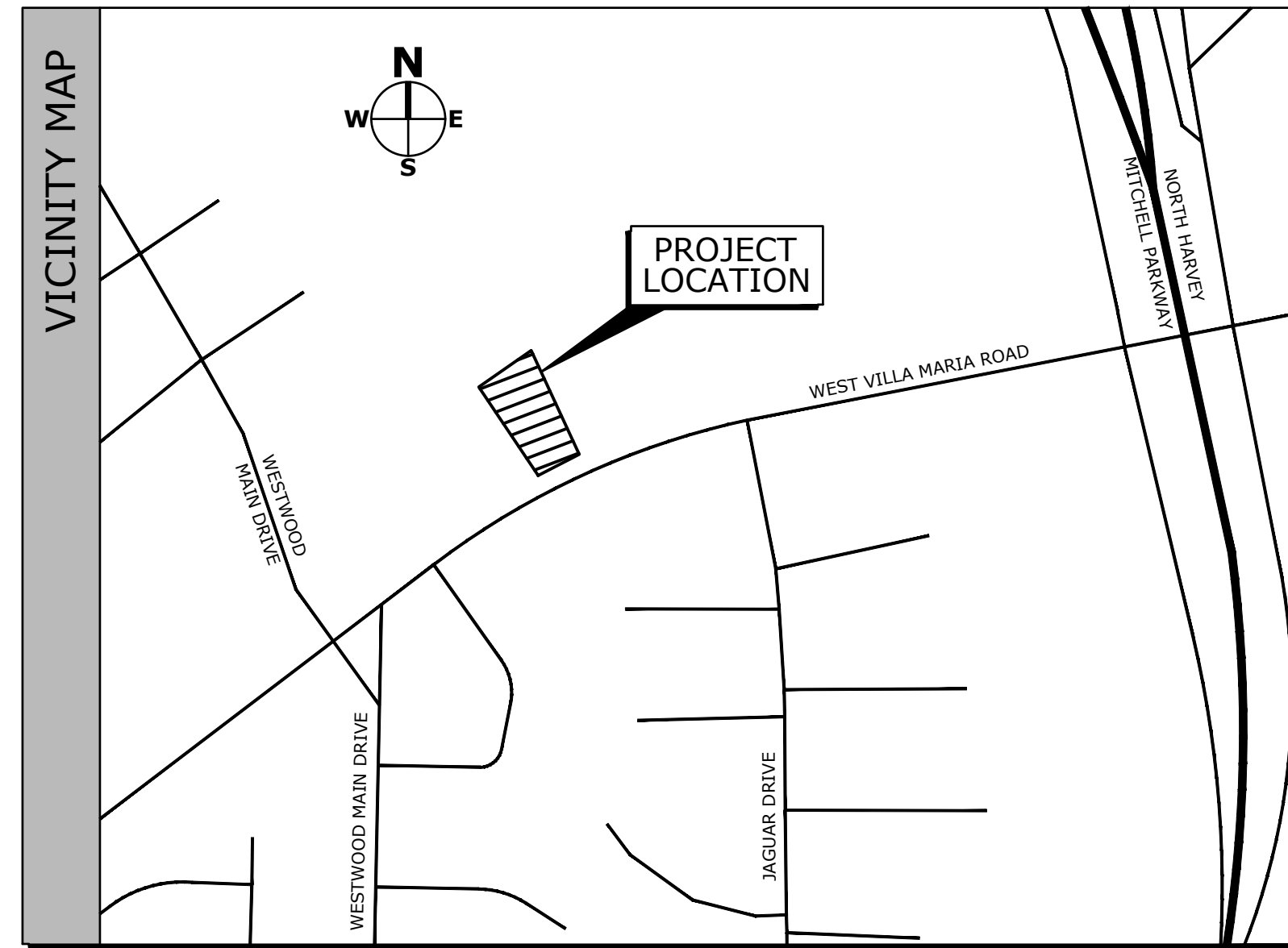


# SITE PLAN REVIEW

FOR

# DUTCH BROS COFFEE

1642 WEST VILLA MARIA ROAD, BRYAN, TEXAS 77807



**OWNER:**

**MAIN & MAIN**  
5750 Genesis Court, Suite 103  
Frisco, Texas 75034  
(214) 308-0008  
Attn: Sam Moore  
Attn: Craig Pincince

**Civil Engineer:**

**TECTONICS DESIGN GROUP**  
730 Sandhill Road, Suite 250  
Reno, Nevada 89521  
(775) 824-9988  
Attn: Matt Rasmussen, P.E.

**Surveyor:**

**ALPHA INFRASTRUCTURE LLC**  
4340 Decatur Drive, Suite 2114  
College Station, Texas 77845  
(979) 450-0062  
Attn: Jeff Barron

**Landscaping:**

**BELLE FIRMA**  
4245 North Central Expy, Suite 501  
Dallas, Texas 75205  
(214) 865-7192  
Attn: Matt Taylor

**Electrical:**

**GARRISON ENGINEERING & CONSULTING**  
Reno, Nevada  
(805) 540-0621  
Attn: Scott Garrison, P.E.

**Structural:**

**TECTONICS DESIGN GROUP**  
730 Sandhill Road, Suite 250  
Reno, Nevada 89521  
(775) 473-9914  
Attn: Barrett Donovan, S.E.

**Signage Vendor:**

**ES&A SIGN & AWNING**  
89975 Prairie Road  
Eugene, Oregon 97402  
(541) 485-5546

**PROJECT INFORMATION**

<b>JURISDICTION</b>	CITY OF BRYAN, TEXAS
<b>PROPERTY INFORMATION</b>	
<b>ZONING</b>	PD - PLANNED DEVELOPMENT
<b>PARCEL NUMBER</b>	VOL. 2468, PG. 303, D.R.N.C.T.
<b>BUILDING HEIGHT AND AREA</b>	
<b>AREA:</b>	PROPOSED 950 SF.
<b>HEIGHT:</b>	PROPOSED 24 FT. 0 IN
<b>MINIMUM SETBACK REQUIREMENTS</b>	
<b>FRONT</b>	25 FT.
<b>REAR</b>	5 FT.
<b>SIDES</b>	5 FT.
<b>PARKING SUMMARY</b>	
<b>BUILDING AREA:</b>	950 SF
<b>PARKING REQUIREMENT AT 1/100:</b>	10 SPACES
<b>STANDARD PARKING PROVIDED:</b>	14 SPACES
<b>TOTAL HANDICAP PARKING PROVIDED:</b>	1 SPACE
<b>TOTAL SPACES PROVIDED:</b>	15 SPACES

**SURVEY INFO**

**BENCHMARKS**

COORDINATES AND BEARINGS SHOWN HEREON ARE BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, (2011 ADJUSTED) CENTRAL ZONE. ALL DISTANCES AND COORDINATES SHOWN ARE SURFACE.

8-IN NAIL W/ WASHER (SCALE ORIGIN)

<b>GRID COORDINATES</b>	<b>SURFACE/GROUND COORDINATES</b>	<b>GRID TO GROUND SCALE FACTOR: 1.00010871174254</b>
N: 10215037.19 FT	N: 10215037.19 FT	
E: 3538991.79 FT	E: 3538991.79 FT	<b>GROUND TO GRID SCALE FACTOR: 0.99989130007442</b>

COORDINATES AND ELEVATIONS WERE ESTABLISHED USING THE SMARTNET NORTHAMERICA CONTROL NETWORK AND VERIFIED BY STATIC OBSERVATIONS PROCESSED USING OPUS. ELEVATIONS ARE NAVD 88 (GEOID 18). UNITS ARE U.S. SURVEY FEET ABBREVIATED (FT).

DRAWING INDEX	DRAWING		DESCRIPTION
	CIVIL	PS.1	
C1.1			DEMOLITION PLAN
C2.1			SITE PLAN
C3.1			GRADING PLAN
C4.1			UTILITY PLAN
ELECTRICAL	C5.1		BMP PLAN
	L1.01		LANDSCAPE PLAN
	L1.02		LANDSCAPE SPECIFICATIONS AND DETAILS
	ES-0.1		SPECIFICATIONS
	ES-1.0		ELECTRICAL SITE PLAN
			CANOPY LIGHTING PLAN
			PHOTOMETRIC SITE PLAN

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**DRAWN:** D.J.M.  
**DESIGNED:** J.P.B.  
**CHECKED/STAMPED:** MATT K. RASMUSSEN, P.E.



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**MAIN & MAIN CAPITAL GROUP, LLC**  
5750 Genesis Ct, Suite 103, Frisco, Texas 75034  
tel 214-308-0008

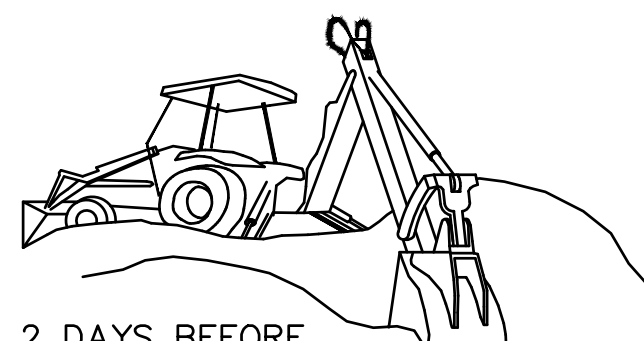


**PROJECT/CLIENT:** #22122  
**DATE:** 10/27/22  
**SUBMITTAL:** SUBMITTAL SITE PLAN REVIEW

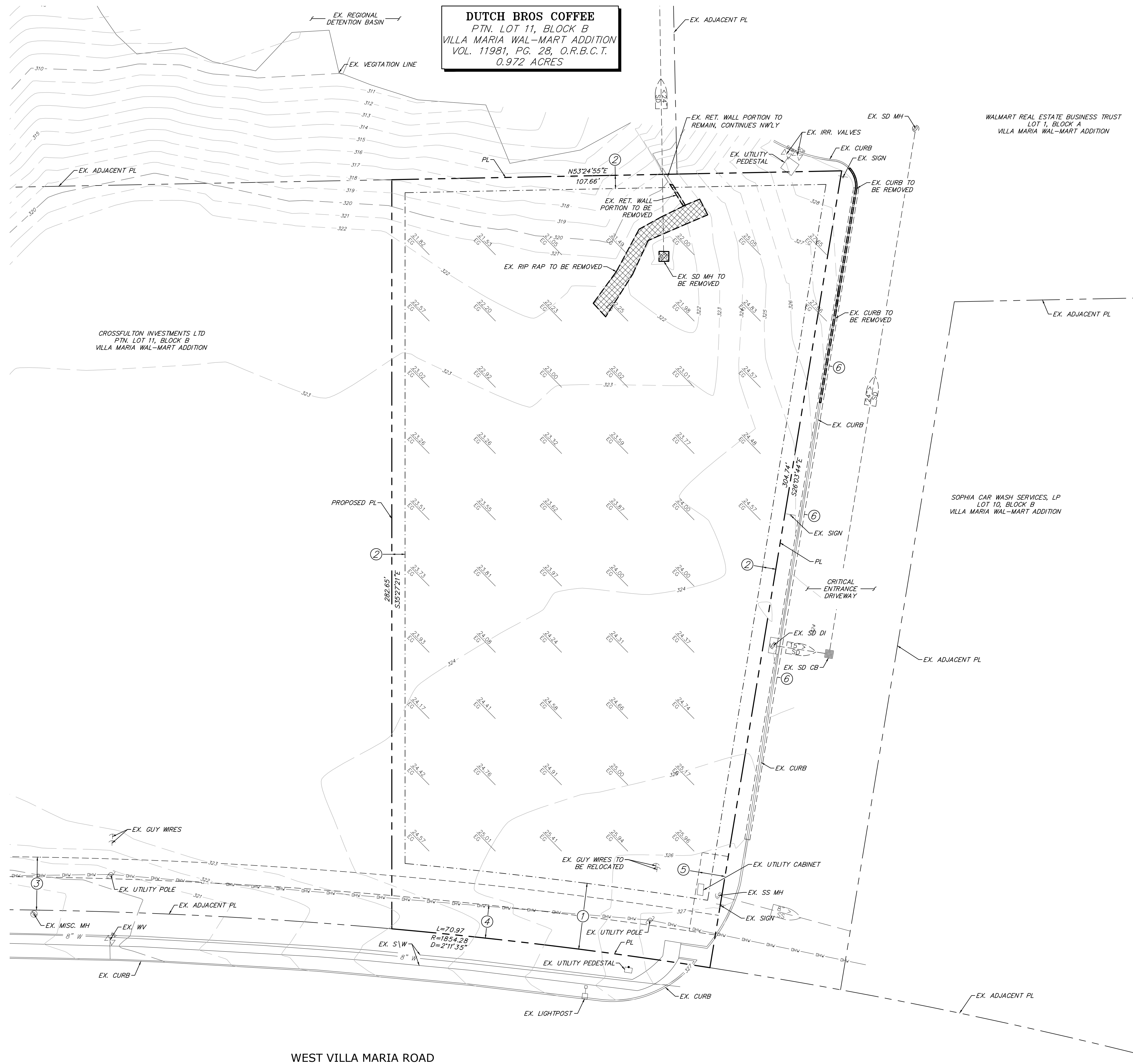
**SHEET TITLE:** PROJECT INFORMATION  
DRAWING INDEX  
VICINITY MAP  
DESIGN TEAM

**SHEET:** PS.1

1"=20'-0" - Dutch Bros TX0306 West Villa Maria Road, Bryan, TX 22122 - C11



2 DAYS BEFORE YOU DIG CALL USA TOLL FREE 1-800-227-2600



**DUTCH BROS COFFEE**  
PTN. LOT 11, BLOCK B  
VILLA MARIA WAL-MART ADDITION  
VOL. 11981, PG. 28, O.R.B.C.T.  
0.972 ACRES

WEST VILLA MARIA ROAD

DEMO PLAN

SCALE: 1" = 20'-0"



**LEGEND:**  
[Hatched Box] - ASPHALT, CONCRETE AND GRAVEL TO BE REMOVED

**EXISTING SETBACKS & EASEMENTS:**

1. 25' BUILDING SETBACK
2. 5' BUILDING SETBACK
3. 25' ELECTRIC EASEMENT
4. 12.5' LANDSCAPE EASEMENT
5. UTILITY EASEMENT
6. 2 PERMITTED CURB CUTS ALLOWED

**NOTES:**

1. ADD 300 TO ALL EXISTING GRADE OR INVERT ELEVATIONS
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO FINALIZING BID. PLEASE NOTE ALL EXISTING VEGETATION ON SITE AND EXTENT OF REMOVAL AS NOT ALL VEGETATION IS SHOWN ON DEMOLITION PLAN.
3. COORDINATE WITH POWER COMPANY ON RELOCATION OF EXISTING POWER POLES AND OVERHEAD LINES.
4. EXISTING TREES ON SITE TO BE REMOVED SHALL BE REMOVED WITH ROOTS, NO GRINDING OF STUMP

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DRAWN: D.J.M.  
DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STAMP: 10/27/22  
EXP: 12/31/22

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DESIGNER: FRM #22895

**Dutch Bros No.: TX0306**  
1642 West Villa Maria Road, Bryan, TX 77807

**MAIN & MAIN CAPITAL GROUP, LLC**  
5750 Genesis Ct, Suite 103, Frisco, Texas 75034  
tel 214-308-0008

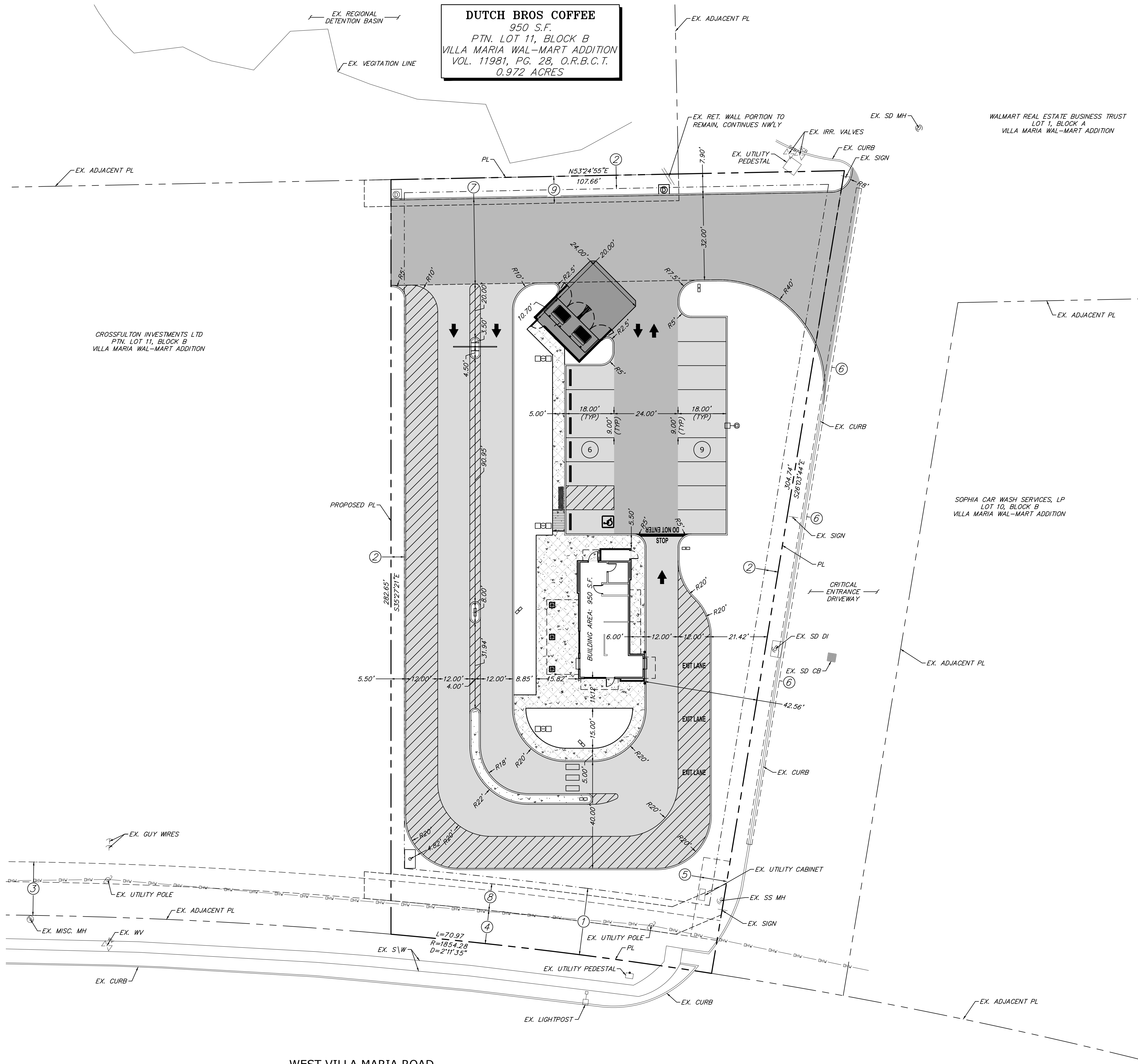
PROJECT/CLIENT: #22122

DATE: 10/27/22 SUBMITTAL SITE PLAN REVIEW

SUBMITTAL RECORD:

SHEET TITLE: DEMO PLAN

SHEET: C1.1



**DUTCH BROS COFFEE**  
 950 S.F.  
 PTN. LOT 11, BLOCK B  
 VILLA MARIA WAL-MART ADDITION  
 VOL. 11981, PG. 28, O.R.B.C.T.  
 0.972 ACRES

PROJECT LEGEND	
PARCEL NO.:	VOL. 2468, PG. 303, D.R.N.C.T.
PARCEL ZONING:	PD - PLANNED DEVELOPMENT
SITE SETBACKS:	
FRONT YARD:	= 25 FEET
SIDE YARD:	= 5 FEET
BACK YARD:	= 5 FEET
EXISTING USAGE:	VACANT
PROPOSED USAGE:	RESTAURANT W/ DRIVE-THRU
<b>SITE BREAKDOWN:</b>	
TOTAL SITE AREA:	42,330 SF
SITE IMPERVIOUS AREA:	28,030 SF
PERCENT LOT COVERAGE:	66.2%
PERCENT OPEN SPACE:	33.8%
FLOOD ZONE:	ZONE X
<b>PARKING:</b>	
BUILDING AREA:	950 SF
PARKING REQUIRED AT 1/100:	10 SPACES
STANDARD PARKING PROVIDED:	14 SPACES
TOTAL HANDICAP PARKING PROVIDED:	1 SPACE
TOTAL SPACES PROVIDED:	15 SPACES

- EXISTING SETBACKS & EASEMENTS:
- 25' BUILDING SETBACK
  - 5' BUILDING SETBACK
  - 25' ELECTRIC EASEMENT
  - 12.5' LANDSCAPE EASEMENT
  - UTILITY EASEMENT
  - 2 PERMITTED CURB CUTS ALLOWED
  - PROPOSED 32' WIDE CROSS-ACCESS EASEMENT
  - PROPOSED 10' WIDE SANITARY SEWER EASEMENT
  - PROPOSED 10' STORM DRAIN EASEMENT

**LEGEND:**

[Pattern]	- SIDEWALK / CONCRETE SECTION (6")
[Pattern]	- SIDEWALK WITH SEALANT
[Pattern]	- LIGHT DUTY ASPHALT SECTION (4")
[Pattern]	- MEDIUM DUTY ASPHALT SECTION (5")
[Pattern]	- TRASH ENCLOSURE CONCRETE SECTION (7")

**SITE PLAN**  
 SCALE: 1" = 20'-0"

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DRAWN: D.J.M.  
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 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STAMP: 10/27/22  
 EXP: 12/31/22

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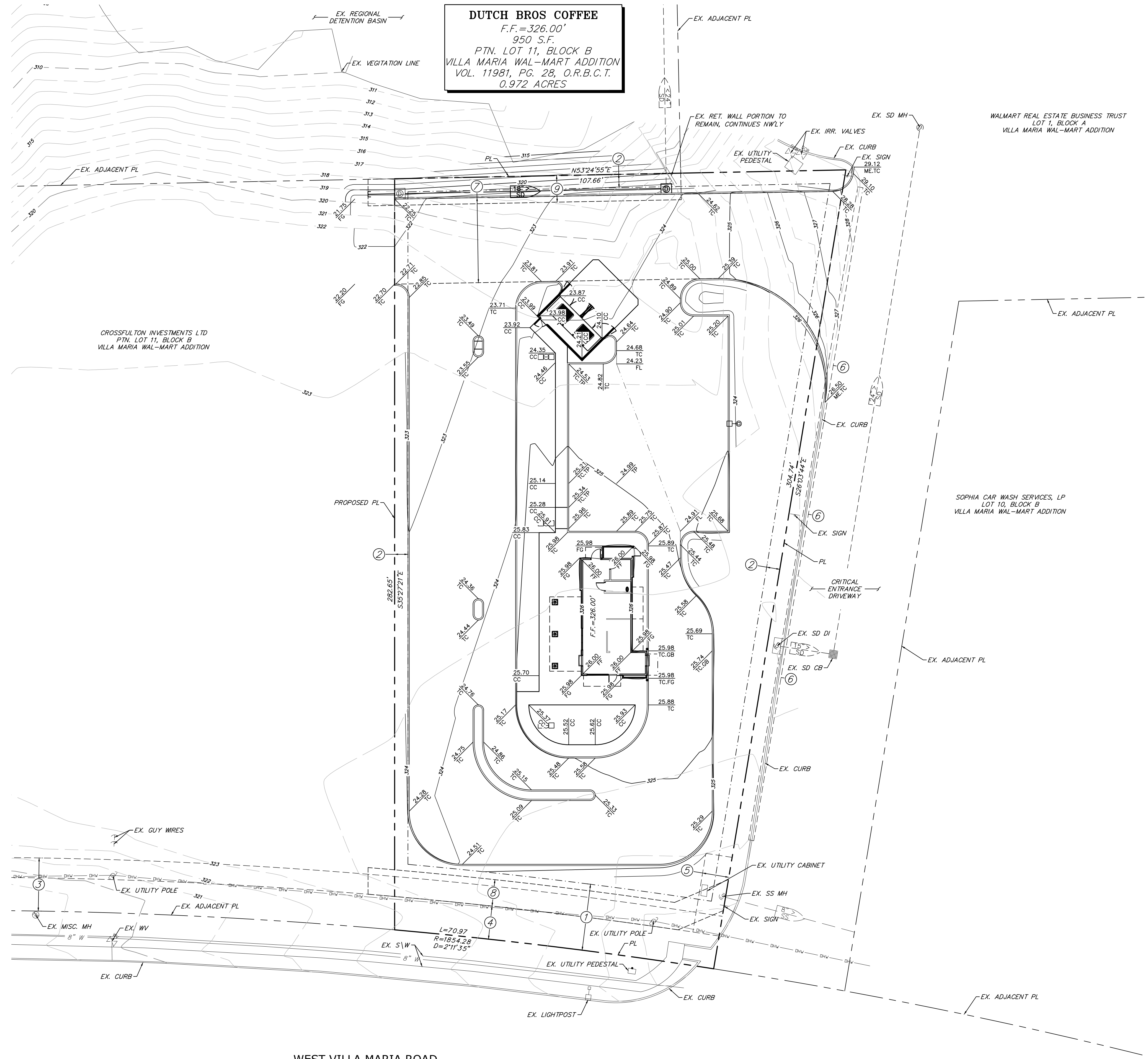
PROJECT/CLIENT: #22122

DATE: 10/27/22

SUBMITTAL RECORD: SUBMITTAL SITE PLAN REVIEW

SHEET TITLE: SITE PLAN

SHEET: C2.1



**DUTCH BROS COFFEE**  
 F.F. = 326.00'  
 950 S.F.  
 PTN. LOT 11, BLOCK B  
 VILLA MARIA WAL-MART ADDITION  
 VOL. 11981, PG. 28, O.R.B.C.T.  
 0.972 ACRES

**EXISTING SETBACKS & EASEMENTS:**

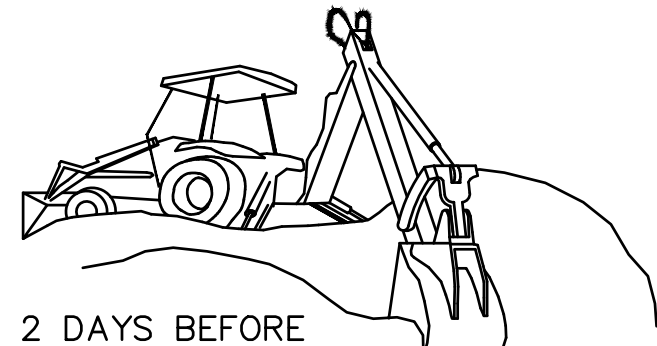
- 25' BUILDING SETBACK
- 5' BUILDING SETBACK
- 25' ELECTRIC EASEMENT
- 12.5' LANDSCAPE EASEMENT
- UTILITY EASEMENT
- 2 PERMITTED CURB CUTS ALLOWED
- PROPOSED 32' WIDE CROSS-ACCESS EASEMENT
- PROPOSED 10' WIDE SANITARY SEWER EASEMENT
- PROPOSED 10' STORM DRAIN EASEMENT

**EROSION CONTROL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A QUALIFIED EROSION CONTROL INSPECTOR. CONTRACTOR TO PROVIDE THE EROSION CONTROL INSPECTOR'S NAME AND QUALIFICATIONS TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SEDIMENT FENCE AND PERIMETER EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION.
- LEAVE NATIVE VEGETATION UNDISTURBED OUTSIDE AREAS OF CONSTRUCTION.
- MODIFY EROSION CONTROL METHODS AS REQUIRED DUE TO WEATHER OR CONSTRUCTION CHANGES.
- SEE EROSION CONTROL DETAIL SHEETS FOR ADDITIONAL NOTES AND DETAILS.
- LOCATION OF ESCP FACILITIES SHOWN ARE APPROXIMATE. ALL FACILITIES TO BE FIELD PLACED PER CONSTRUCTION REQUIREMENTS.
- CONTRACTOR TO MECHANICALLY REMOVE SEDIMENT FROM ROAD AND SHALL NOT WASH IT DOWN STORM SEWERS.

**NOTES:**

- ADD 300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
- ALL SLOPES GREATER THAN 3:1 SHALL BE TREATED WITH 0.5' DEEP 6"-8" ROCK RIPRAP



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**GRADING PLAN**

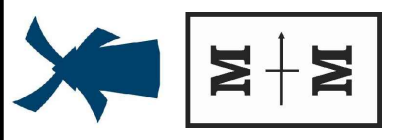
SCALE: 1" = 20'-0"



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 DRAWN: D.J.M.  
 DESIGNED: J.P.B.  
 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.  
 137495  
 LICENSED PROFESSIONAL ENGINEER  
 10/27/22  
 EXP: 12/31/22

DESIGNER: TECTONICS DESIGN GROUP  
 FIRM #22395  
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 5750 Genesis Ct, Suite 103, Frisco, Texas 75034  
 tel 214-308-0008



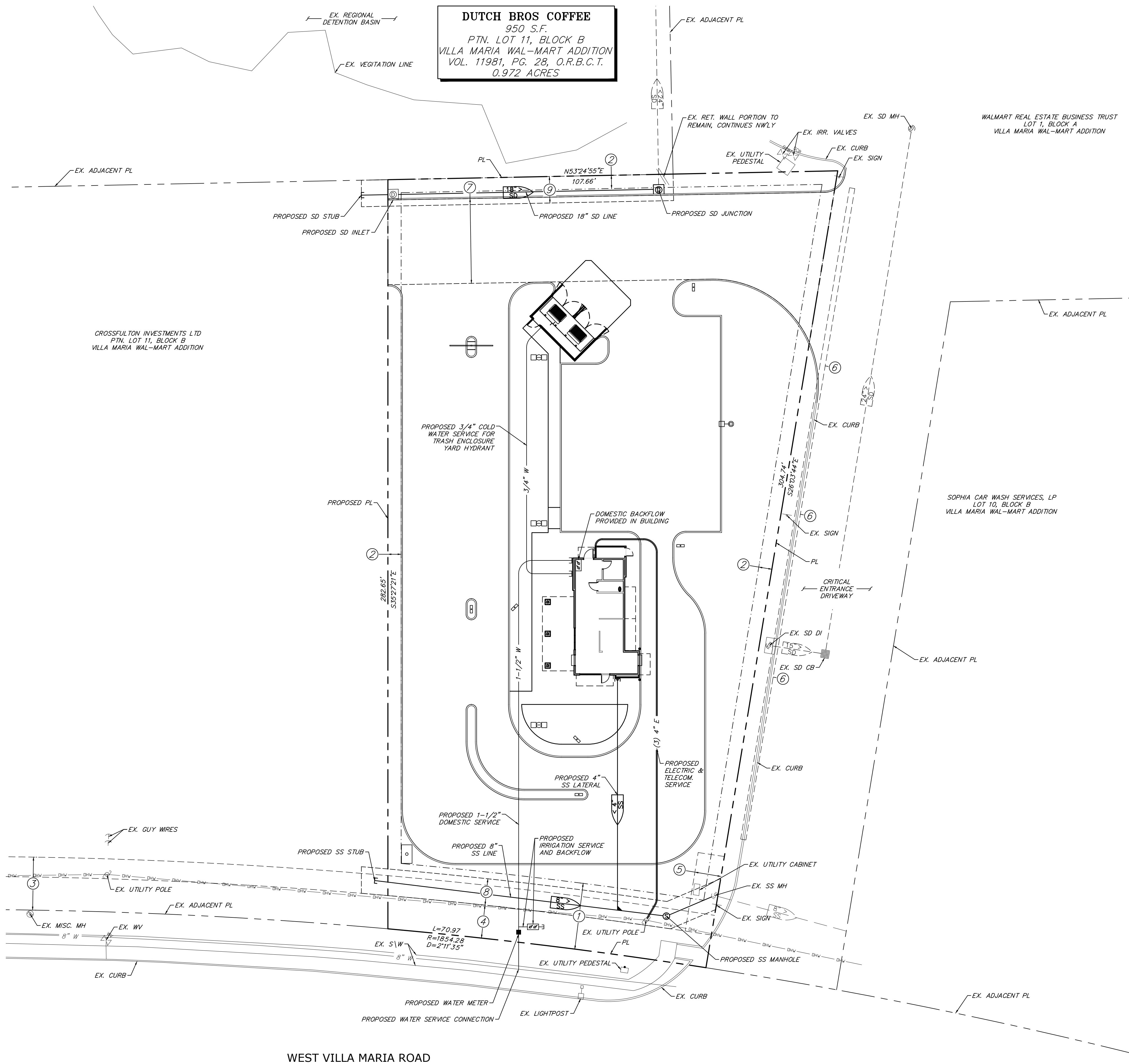
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SUBMITTAL RECORD: GRADING PLAN

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SHEET: C3.1

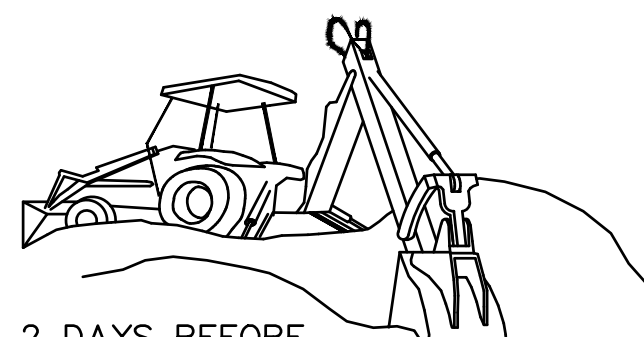
1"=20'-0" Dutch Bros TX0306 West Villa Maria Road, Bryan, TX 22122 C31



WEST VILLA MARIA ROAD

**UTILITY PLAN**

SCALE: 1" = 20'-0"



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1"=20'-0"- Dutch Bros TX0306 West Villa Maria Road, Bryan, TX 22122, C41

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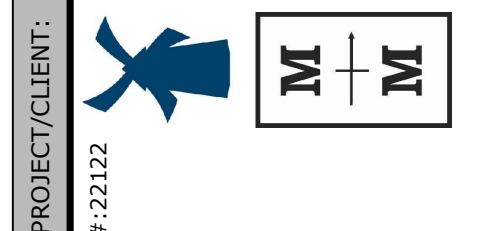
STAMP:

DESIGNER: **TECTONICS DESIGN GROUP**  
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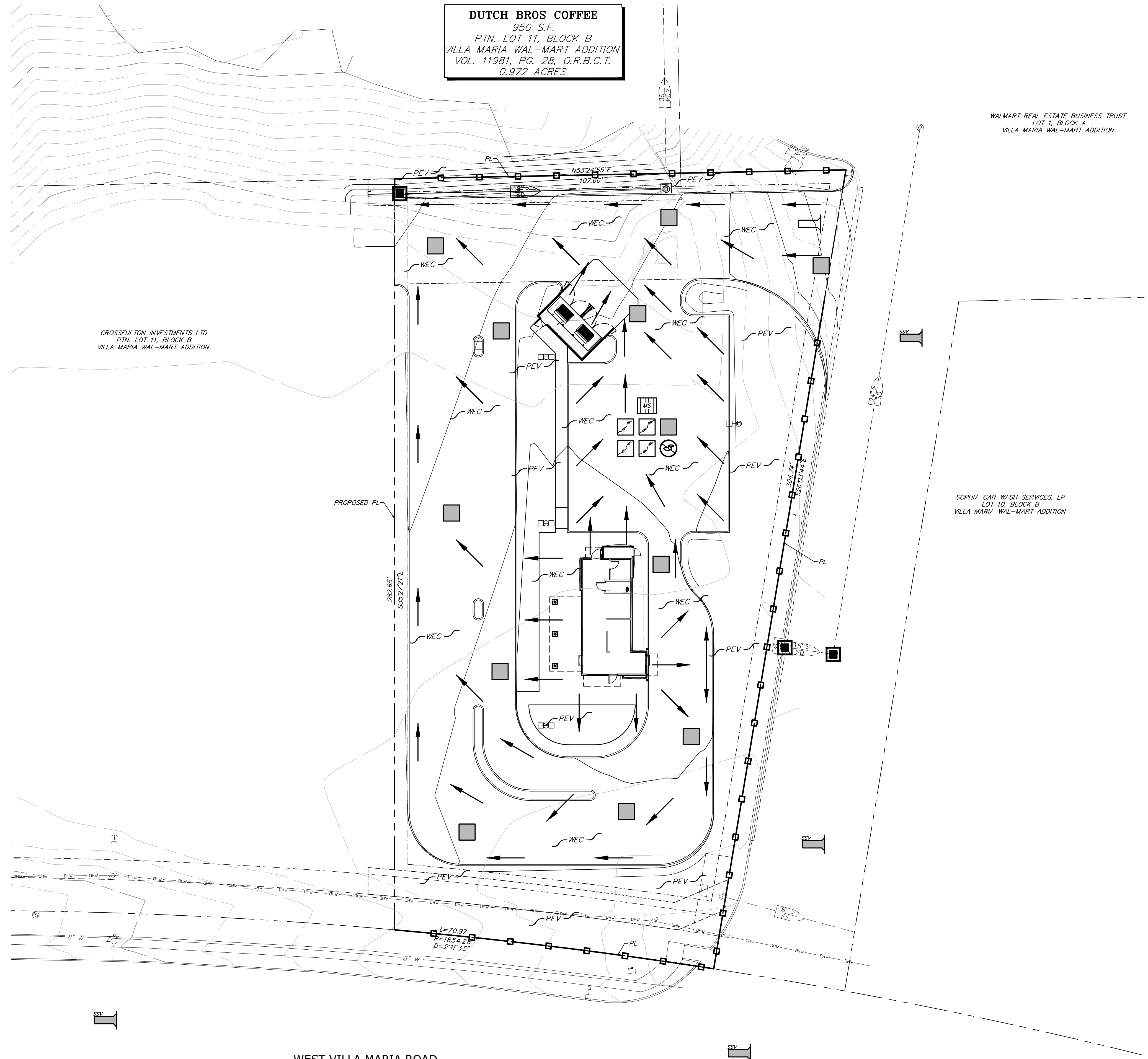
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 SUBMITTAL: SUBMITTAL SITE PLAN REVIEW

SUBMITTAL RECORD:

SHEET TITLE: UTILITY PLAN

SHEET: **C4.1**

**DUTCH BROS COFFEE**  
 950 S.F.  
 PTN. LOT 11, BLOCK B  
 VILLA MARIA WAL-MART ADDITION  
 VOL. 11981, PG. 28, O.R.B.C.T.  
 0.972 ACRES



**STORMWATER NOTES:**

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHT OF WAYS OF BRAZOS COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED BY BRAZOS COUNTY.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTION MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.
6. REFER TO TEXAS EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL FOR FURTHER CONSTRUCTION SITE BEST MANAGEMENT PRACTICES DEFINITIONS.

LEGEND		
BMP	#	SYMBOL
REVEGETATION	SS-2	~PEV~
WIND EROSION AND DUST CONTROL	WE-1	~WEC~
SILT FENCES	SC-1	□-□-□-□-□
STABILIZED CONSTRUCTION SITE ENTRANCE / EXITS	TC-1	┌┐
STORM DRAIN OUTLET PROTECTION	SS-10	■
STORM DRAIN INLET PROTECTION	SC-10	■
STOCKPILE MANAGEMENT	WM-3	■
STREET SWEEPING AND VACUUMING	SC-7	■
SPILL PREVENTION AND CONTROL	WM-4	⊘
CONCRETE WASTE MANAGEMENT	WM-8	■
VEHICLE AND EQUIPMENT FUELING	NS-9	■
VEHICLE AND EQUIPMENT MAINTENANCE	NS-10	■
MATERIAL DELIVERY STORAGE	WM-1	■
PAVEMENT CONSTRUCTION MANAGEMENT	NS-3	■
GRADED FLOW DIRECTION		→

WEST VILLA MARIA ROAD

**BMP PLAN**  
 SCALE: 1" = 20'-0"



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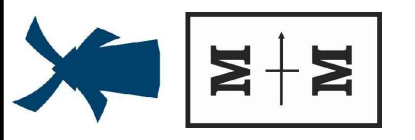
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DESIGNER:  
 FIRM #22395

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 5750 Genesis Ct, Suite 103, Frisco, Texas 75034  
 tel 214-308-0008



PROJECT/CLIENT:  
 #22122

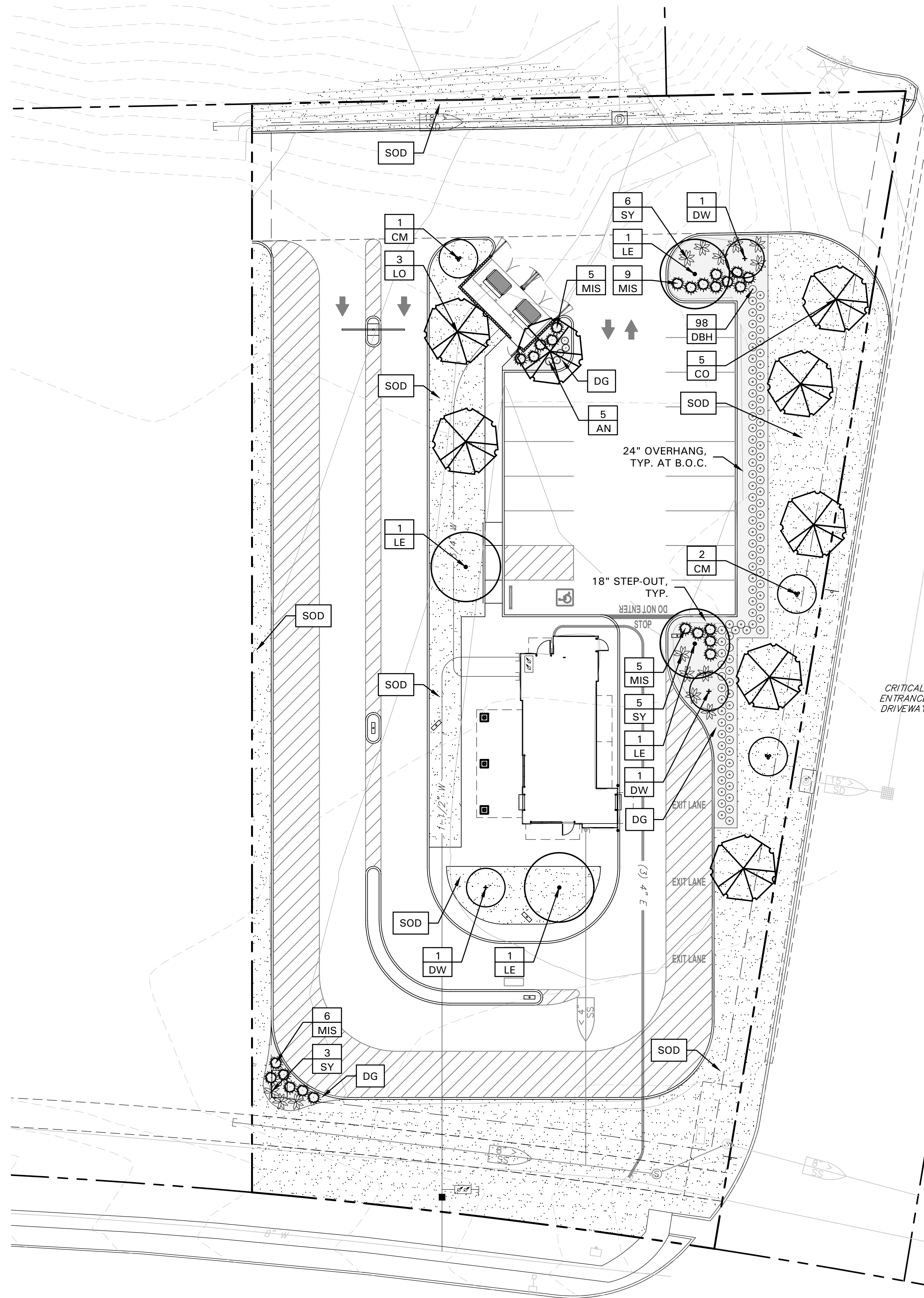
DATE: 10/27/22  
 SUBMITTAL SITE PLAN REVIEW

SUBMITTAL RECORD:  
 SHEET TITLE: BMP PLAN

SHEET: C5.1

1"=20'-0" Dutch Bros TX0306 West Villa Maria Road, Bryan, TX 22122\_C51





WALMART REAL ESTATE BUSINESS TRUST  
 LOT 1, BLOCK A  
 VILLA MARIA WAL-MART ADDITION

SOPHIA CAR WASH SERVICES, LP  
 LOT 10, BLOCK B  
 VILLA MARIA WAL-MART ADDITION

WEST VILLA MARIA ROAD

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**LANDSCAPE TABULATIONS**  
 THE CITY OF BRYAN, TEXAS

SITE LANDSCAPE

- 15% of the site to be landscape area.
- Not less than 50% of required area shall be trees.
- Not less than 50% of trees planted shall be canopy.
- All parking islands must have a canopy tree.

Total Site Area: 42,330 s.f.

Required	Provided
6,350 s.f. (15%)	16,110 s.f. (38%)
3,175 s.f. trees (50%)	3,450 s.f. trees (54%)
1,588 s.f. canopy (50%)	2,850 s.f. canopy (90%)

**GENERAL LAWN NOTES**

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

**SOLID SOD NOTES**

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**HYDROMULCH NOTES**

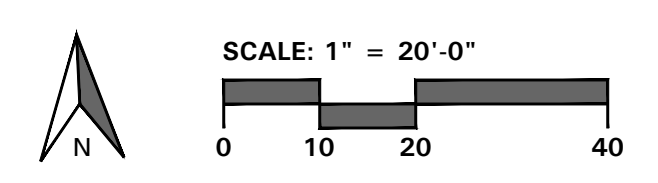
- CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
<b>TREES</b>					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crape Myrtle 'Natchez'	3	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muhlenbergii</i>	Chickapin Oak	5	4" cal.	container grown, 15' ht., 5' spread, 4' branching ht., matching
DW	<i>Chilopsis linearis</i>	Desert Willow	3	30 gal.	container grown, 3-5 trunk, 8' ht. min., 4' spread min.
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	4	4" cal.	container grown, 15' ht., 5' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
<b>SHRUBS/GROUND COVER</b>					
AN	<i>Juniperus tobira</i> 'Andorra'	Andorra Juniper	5	5 gal.	container full, 20" spread, 24" o.c.
DBH	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	98	5 gal.	container full, 24" ht., 24" spread, 36" o.c.
MIS	<i>Miscanthus sinensis</i> 'Adagio'	Miscanthus 'Adagio'	25	5 gal.	container full, 36" o.c.
SY	<i>Yucca recurvifolia</i>	Softleaf Yucca	14	5 gal.	container full, 36" o.c.
SOD	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes
DG		Decomposed Granite			4" depth

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.  
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.  
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

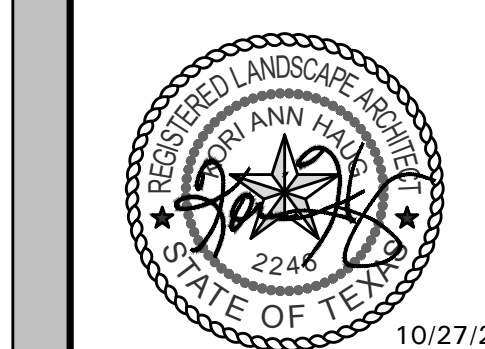
#	S.F. VALUE	S.F. TOTAL
3	100	300
5	250	1,250
3	100	300
4	250	1,000
3	200	600
5	10	50
98	10	980
25	10	250
14	10	140
		12,240
<b>TOTAL LANDSCAPE:</b>		<b>17,110</b>



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PROJECT/CLIENT: #22122

DATE:	SUBMITTAL
10/12/22	SITE PLAN REVIEW
10/27/22	SITE PLAN REVIEW

SUBMITTAL RECORD:  
 SHEET TITLE: LANDSCAPE PLAN  
 SHEET: L1.01





General Electrical Requirements

PART 1 - GENERAL

1.01 DESCRIPTION

This Section summarizes the general requirements for electrical work, and forms a part of all other Sections of these specifications unless otherwise specified. The electrical work consists of furnishing all labor, materials, equipment and performing all operations required for complete and operable electrical systems as indicated on the drawings and/or as specified herein. Miscellaneous appurtenances are not necessarily specified or shown on the plans.

1.02 QUALITY ASSURANCE

- A. Furnish manufacturer's electrical equipment of the types and sizes specified.
- B. Codes and Standards. Provide electrical equipment and materials, including installation, conforming to the following codes and standards, as applicable and as adopted by the authority having jurisdiction. The equipment and materials shall bear labels to indicate manufacturing conformance to the specified standards or equal. Where two codes or standards are at variance the authority having jurisdiction shall apply:
  1. 2017 National Electric Code
  2. National Electrical Safety Code
  3. Local County and City Electrical Codes
  4. Owner's Electrical Standards
  5. American National Standards Institute Standards
  6. American Society for Testing Materials Standard Tests
  7. Certified Ballast Manufacturers Standards
  8. Illuminating Engineering Society Handbook Standards
  9. Insulated Power Cable Engineers Association Standards
  10. National Electrical Manufacturers Association Standards
  11. National Fire Protection Association Standards
  12. Occupational Safety and Health Act
  13. Underwriters' Laboratories, Inc. Standards

1.03 UTILITY COMPANY REQUIREMENTS

All utility installations shall comply with current Public Utilities Commission regulations and requirements. All installations shall comply with current local electric utility service provider standards, procedures and regulations.

1. 2017 National Electric Code
2. National Electrical Safety Code
3. County and City Electrical Codes
4. Owner's Electrical Standards
5. American National Standards Institute Standards
6. American Society for Testing Materials Standard Tests
7. Certified Ballast Manufacturers Standards
8. Illuminating Engineering Society Handbook Standards
9. Insulated Power Cable Engineers Association Standards
10. National Electrical Manufacturers Association Standards
11. National Fire Protection Association Standards
12. Occupational Safety and Health Act
13. Underwriters' Laboratories, Inc. Standards

1.04 SUBMITTALS

All drawings shall be prepared and kept up to date throughout all construction phases. As built drawings may, at any time, be reviewed by the architect, general contractor and/or owner's representative. This section includes responsibility for inspection, acceptance and documentation of all pre-existing installations. Accurate, complete and legible final As Built Drawings shall be submitted within two weeks of finalization of all installations covered under this section or within two weeks of request by owner's representative.

- A. Materials List. Submit complete list of materials to be installed to architect and/or owner as required.
- B. Technical Data. Submit descriptive and instruction manuals to the extent required under this Section and other Sections of Division 16, and the General Conditions.

1.05 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Delivery. Deliver electrical materials and equipment in manufacturer's original cartons or containers with seals intact, as applicable. Unless otherwise specified, deliver conductors in sealed cartons or on sealed reels, ends of reeled conductors factory sealed. Deliver large multi-component assemblies in sections that facilitate field handling and installation.
- B. Storage. Unless designed for outdoor exposure, store electrical materials off the ground and under cover to prevent corrosion, contamination, or deterioration.
- C. Handling. Handle materials and equipment in accordance with manufacturers recommendations. Lift large or heavy items only at the points designated by the manufacturer. Use padded slings and hooks for lifting as necessary to prevent damage.

1.06 JOB CONDITIONS

Electrical Drawings are diagrammatic and indicate the general layout of the complete work. Locations of equipment, inserts, anchors, motors, panels, pull boxes, conduits, stub-ups, fitting, lighting fixtures, convenience outlets, exterior lighting units, and ground wells are approximate. Conform to Drawings as closely as possible. Exercise care to secure approved headroom and clearances, and to overcome structural interference. Verify scaled dimensions, field dimensions, and conditions at the place of work.

Underground electric lines shown on the plans are, to a degree, symbolic. Refer to the existing as built, Electrical, Mechanical and all other drawings available for locations of possible interference. Hand dig or otherwise cautiously dig the trenches for the underground lines in areas where interferences are possible or where electric lines must pass or cross below or above existing.

- A. Changes. Submit written details and reasons for proposed deviations from Drawings and Specifications, and do not deviate therefrom unless authorized by Field Order or Change Order. If approved changes requested by general contractor and/or owner require alteration of structures or related work, make the alterations in full compliance with all applicable codes and ordinances.
- B. Protection. Protect electrical materials and equipment until final acceptance. Protect factory painted surfaces from impact, abrasion, discoloration, and other damage. Keep electrical equipment, materials, and insulation dry at all times. If partial dismantling of equipment is required for installation, box or wrap the removed parts until reinstalled. Repair or replace damaged work as directed, at no additional cost to the owner.
- C. Coordinate. Coordinate electrical work with all trades, code authorities and public utilities. Where two or more trades interface in an area, verify that no electrical work is omitted.
- D. Safety. Maintain and operate all equipment and fixtures in a safe and responsible manner. Conduct all construction operations in a safe manner for all employees as well as any other persons within the workspace. Hold all others harmless of negligent safety practices which could cause injury to others on or near the jobsite.

1.07 RELATED ELECTRICAL WORK

Review entire Contract Documents and provide all electrical work required for the entire project, even if it is specified in Divisions other than Division 16, unless specifically excluded in advance.

1.08 POWER SUPPLY

The power supply shall be alternating current, 60 hertz and at the voltage indicated on the drawings.

1.09 PERMITS

Procurement of permits is not included in this section. Obtain and pay for permits, licenses and/or inspections required for electrical construction work if specifically required in writing by owner, architect and/or general contractor prior to award of contract.

1.10 OUTAGES

Keep power shutdown periods to the minimum time feasible, and only for such times and durations as may be approved. Submit written request for outage approval at least 2 working days in advance of need, stating date, time, and probable duration.

1.11 AREA CLASSIFICATIONS

Installation areas for electrical equipment, materials, and wiring are classified as "Non-Hazardous" unless otherwise indicated or specified.

1.12 GUARANTEE AND WARRANTY

Guarantee all work of Division 16 in accordance with the General Conditions. With respect to equipment, condition guarantee to cover (1) faulty or inadequate design; (2) improper assembly or erection; (3) defective workmanship or materials; and (4) incorrect or inadequate operation, or other failure. For equipment bearing a manufacturer's warranty in excess of one (1) year, furnish a copy of the warranty to the architect for submittal to owner who shall be named as beneficiary.

PART 2 - PRODUCTS

2.01 MATERIALS AND EQUIPMENT

Provide new materials and equipment as required to complete all indicated and specified electrical work, including incidental items inferable from the Contract Documents that are necessary to complete the work. Provide materials and equipment of latest design, standard products of established manufacturers. For uniformity, only one manufacturer is acceptable for each type of product. Manufacture individual parts to standard sizes and gages so repair parts can be installed in the field. Make like parts of duplicate units interchangeable. Do not place equipment in service at any time prior to delivery except as required for factory or shop tests or as requested by owner, architect and/or general contractor.

- A. Prohibited Materials. Aluminum conductors are not acceptable unless approved for each use and location.
- B. Damaged Products. Notify the general contractor in writing if any equipment or material is damaged. Do not repair damaged products without prior written approval.
- C. Outdoor Equipment. Outdoor electrical equipment shall be weatherproof, NEMA 3R (enclosure detailed on drawings) unless shown otherwise on the construction drawings.
- D. Factory Finishes. Unless otherwise specified in other Division 16 sections or in the Special Conditions, the sheet metal surfaces of equipment enclosures shall be phosphatized and coated with a rust resisting primer. Over the primer, apply a corrosion resistant baked enamel finish on the interior and exterior metal surfaces. The exterior color shall be ASA No. 49 medium light gray. The interior color shall be white. Hardware shall have a corrosion resistant finish. Sheet metal enclosures and lighting fixtures, in corrosive areas, shall have an outer coating of corrosion resistant epoxy.

PART 3 - EXECUTION

3.01 GENERAL

Install electrical work in accordance with all applicable codes and standards except where more stringent requirements are indicated or specified. Verify that materials and equipment properly fit the installation space with clearances conforming to all applicable codes and standards except where greater clearance is indicated. Perform work as required to correct improper installations, at no additional cost to the owner.

3.02 ELECTRICAL SUPERVISION

In addition to supervision required under the General Conditions, assign a competent representative to supervise the electrical construction work from beginning to completion and final acceptance.

3.03 INSPECTION

Inspect each item of material and equipment for damage, defects, completeness, and correct operation prior to installation. Inspect previously installed related work and verify that it is ready for installation of electrical work.

3.04 PREPARATION

Prior to installing electrical work, ensure that installation areas are clean. Maintain the areas in a broom-clean condition during installation operations. Clean, condition, and service equipment in accordance with the manufacturer's instructions, approved submittals, and other requirements indicated or specified.

3.05 WORKMANSHIP

Employ skilled craftsmen experienced in installation of the types of electrical materials and equipment specified. Use specialized installation tools and equipment as applicable. Produce acceptable installations free of defects.

3.06 PROTECTIVE DEVICE ADJUSTMENTS

Adjust all protective devices as required. Adjustments shall conform to the serving utilities requirements & ANSI/IEEE Standard 242. No equipment shall be operated prior to said adjustments being properly completed and verified /tested.

3.07 FIELD QUALITY CONTROL

- A. Manufacturers' Supervision and Field Installation Check. Where specified, electrical equipment and/or fixture manufacturer shall furnish the services of an authorized representative specially trained and experienced in the installation of his equipment and/or fixture to (1) supervise the equipment and/or fixture installation in accordance with the approved submittals and manufacturer's instructions, (2) be present when the equipment and/or fixture is first put into operation, (3) inspect, check, adjust as necessary, and approve the installation, (4) repeat the inspection, checking, and adjusting until all trouble or defects are corrected and the equipment and/or fixture installation and operation are acceptable, and (5) prepare and submit the specified Manufacturer's Certified Report.
- B. Operational Demonstration. Demonstrate that performance of installed electrical materials and equipment complies with requirements specified in Division 16. Operate equipment through entire no-load to full-load range for not less than 24 hours unless a longer period is specified elsewhere. Immediately correct defects and malfunctions with approved methods and materials in each case, and repeat the demonstration. Conform to the approved demonstration plan.
- C. Final Operation Tests. Test all electrical systems for not less than 24 hours, with no interruptions except for normal maintenance or corrective work. Conform to the approved test plan. Coordinate with final operation tests required under other Divisions.

1. Testing Materials. Furnish labor, instruments, recorders, gages, materials, and power for tests as required.
2. Testing Methods. Operate systems continuously 24 hours a day under constant inspection of trained operators. Cause variable range equipment to cycle through the applicable range at a steady rate of change. Induce simulated alarm and distressed operating conditions, and test controls and protective devices for correct operation in adjusting system functions or causing system shutdown.
3. Defects. Immediately correct all defects and malfunctions disclosed by tests. Use new parts and materials as required and approved. Add the interruption time for corrective work to the specified total test period.

**SHEET LEGEND**

- SHEET ES-0.1 - SPECIFICATIONS
- SHEET ES-1.0 - ELECTRICAL SITE PLAN
- SHEET ES-1.1 - CANOPY LIGHTING DETAIL
- SHEET ES-2.0 - PHOTOMETRIC SITE PLAN

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**SITE PLAN REVIEW**

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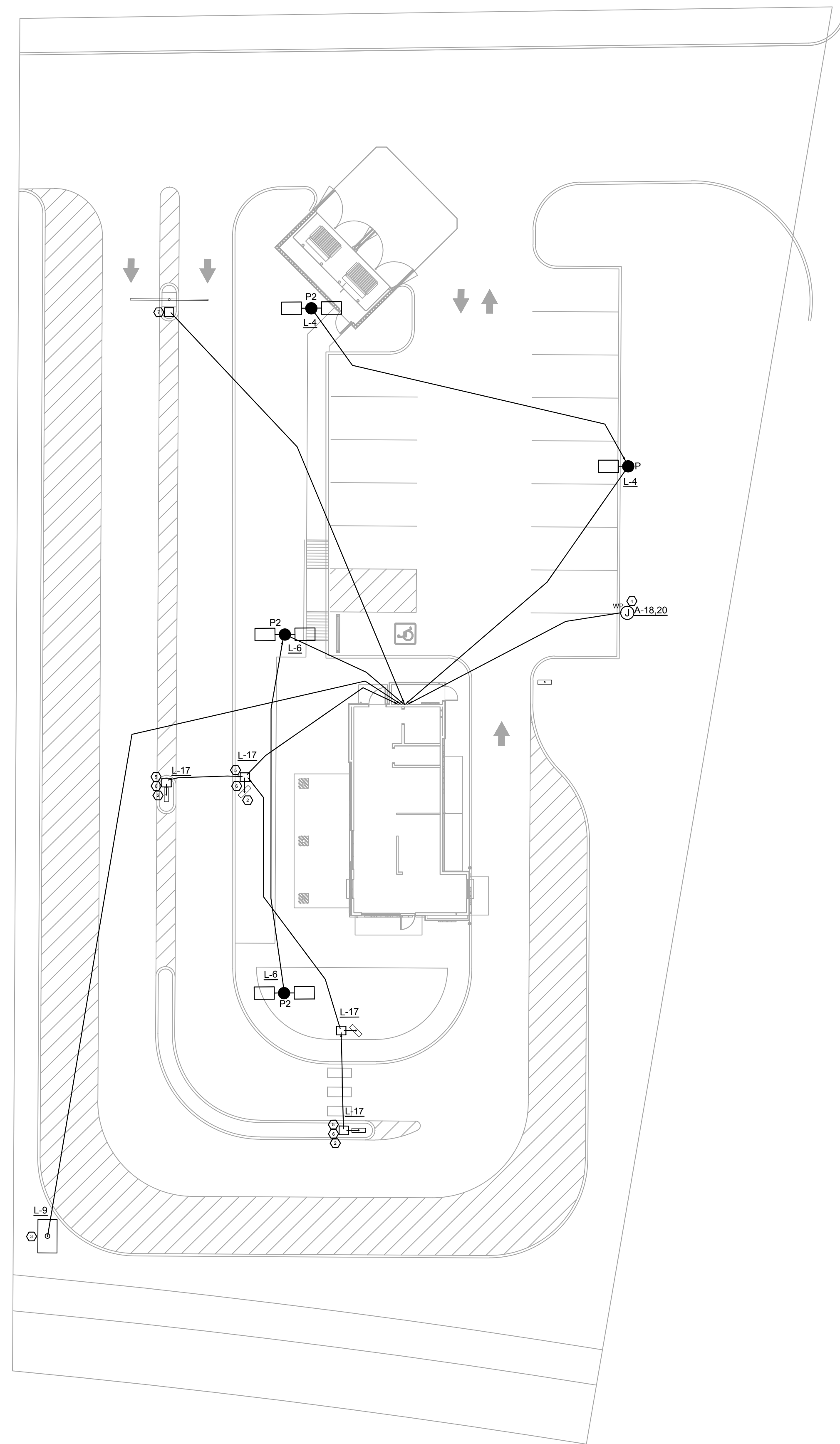
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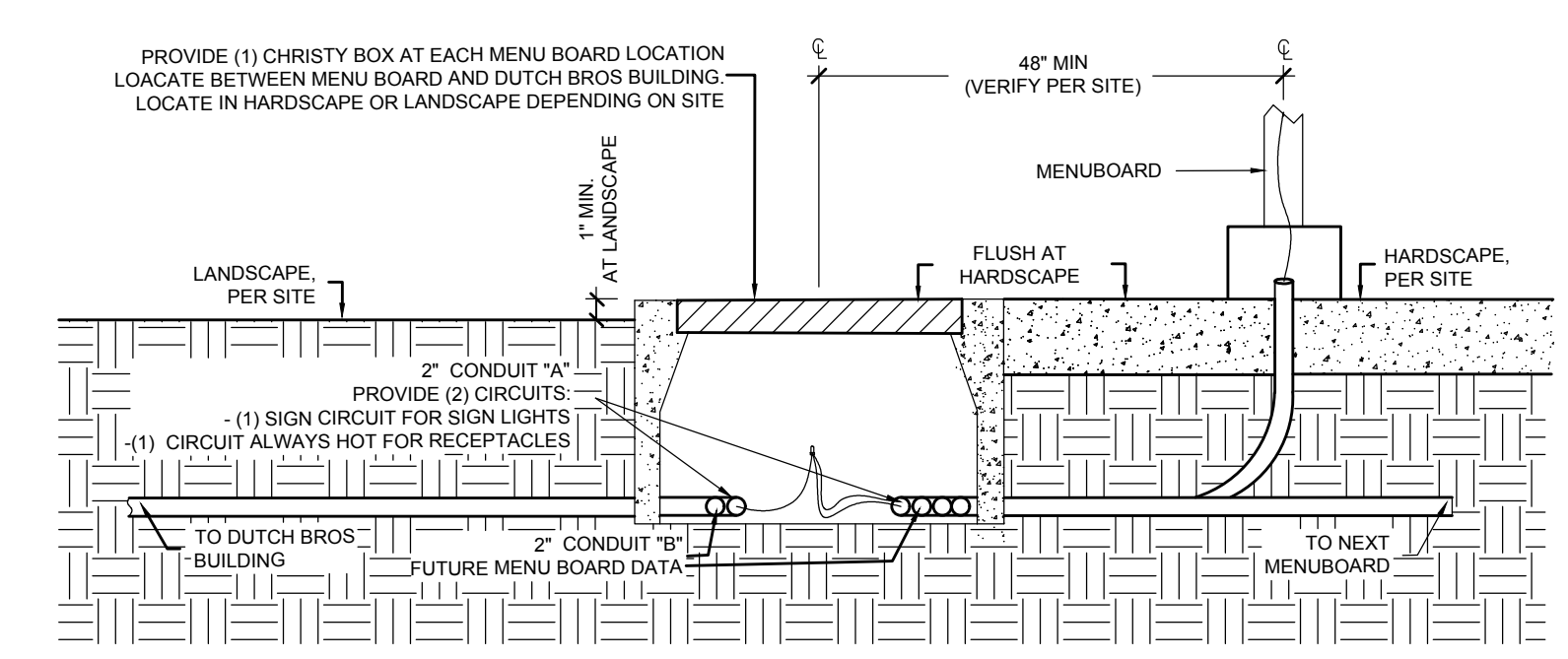
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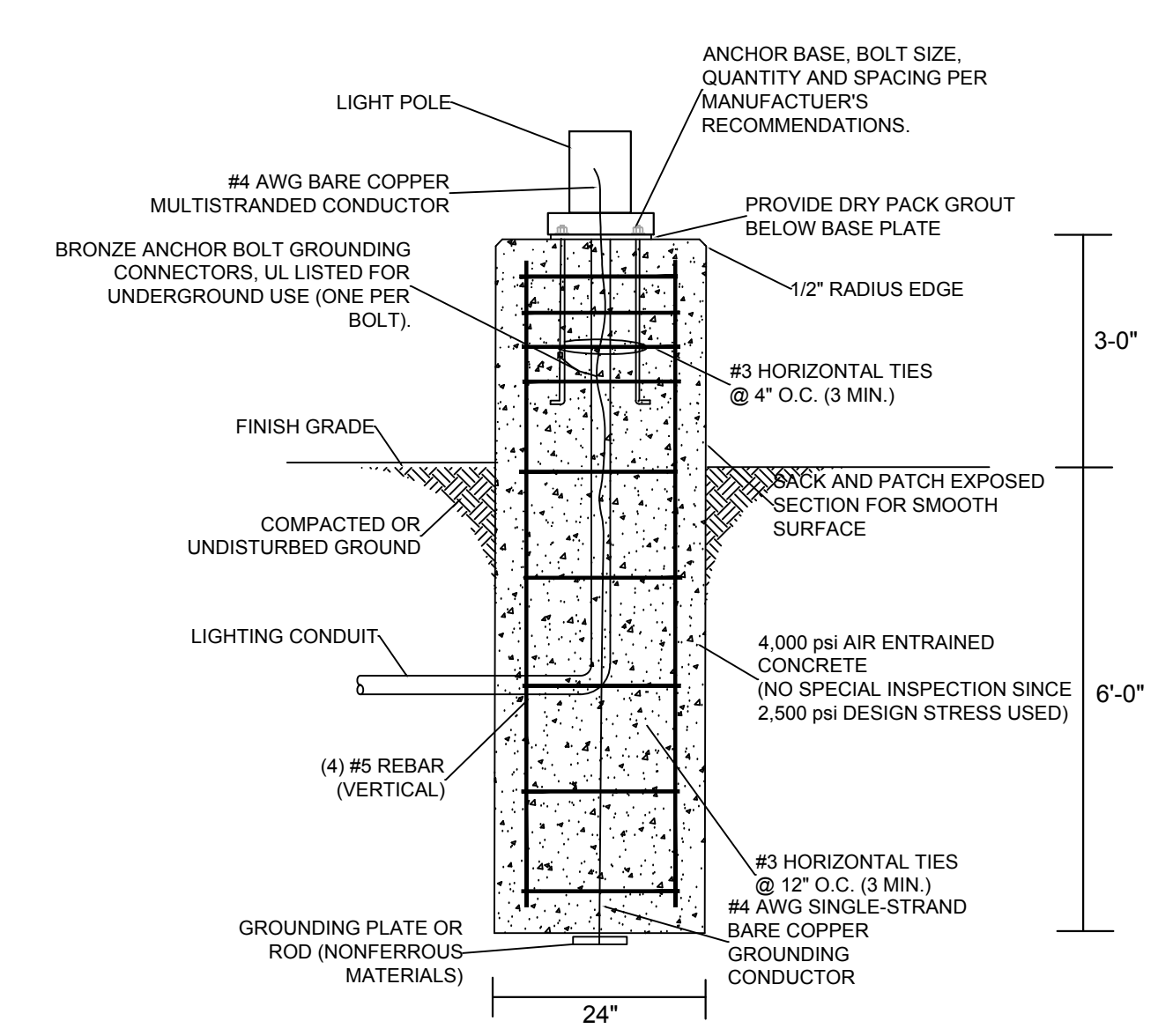
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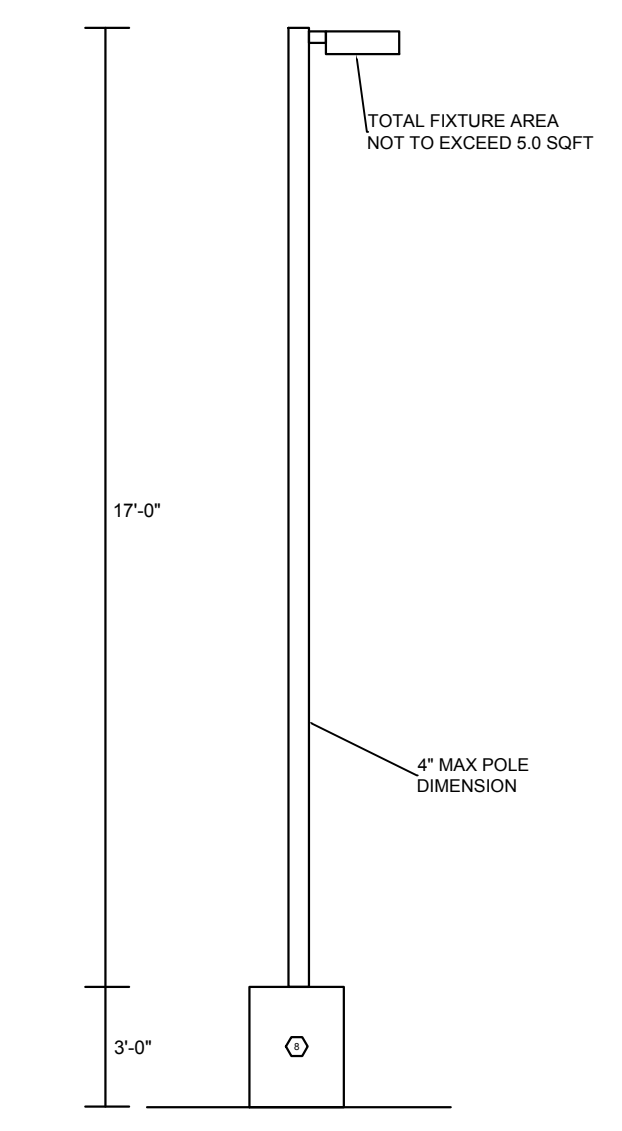
**1 ELECTRICAL SITE PLAN**  
 Scale: 0 30' 60'



**2 MENU BOARD & CHRISTY BOX DETAIL**  
 Scale: NOT TO SCALE



**3 PARKING LOT LIGHT POLE BASE**  
 Scale: N/A



**4 PARKING LOT LIGHT ELEVATION**  
 Scale: N/A

**GENERAL NOTES**

- FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER AND SANITARY SEWER LOCATIONS; SEE CIVIL SITE PLAN.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANY REQUIREMENTS AND STANDARDS. VERIFY REQUIREMENTS WITH UTILITY PRIOR TO INSTALLATION.

**KEYED NOTES**

- Ⓢ THE LOCATION OF UTILITY METER AND CT CABINET. INSTALLATION PER LOCAL ELECTRIC UTILITY STANDARDS. SEE ELECTRICAL DETAIL 1 (RISER DIAGRAM) ON MODULAR BUILDING ELECTRICAL SHEET E1.0.
- Ⓢ PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #8 & (1) #8 GND IN A 2" PVC CONDUIT ROUTED BELOW GRADE THROUGH CHRISTY BOX FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURERS INSTRUCTIONS. CONDUIT SHALL COME UP IN THE CENTER OF POST. SEE DETAIL 2 ON THIS SHEET. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS AND DIMENSIONS FOR EC TO MATCH. CONTRACTOR SHALL REPAIR ANY EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- Ⓢ PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #8 & (1) #8 GND IN A 2" PVC CONDUIT ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. COORDINATE LOCATION WITH OWNER/ARCHITECT FOR MONUMENT SIGN REQUIREMENTS. IF ANY, CONTRACTOR SHALL REPAIR ANY EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- Ⓢ (FUTURE) ELECTRIC VEHICLE CHARGING STATION LOCATION. EC TO PROVIDE A 2" CONDUIT MARKED "EV CAPABLE" FROM PANEL "B" TO THE JUNCTION BOX SHOWN ON PLANS. SEE PANEL SCHEDULE ON MODULAR BUILDING ELECTRICAL SET FOR MORE INFORMATION.
- Ⓢ PROVIDE A 2" PVC CONDUIT WITH PULL STRING ROUTED BELOW GRADE TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. SEE DETAIL 2 ON THIS SHEET. CONTRACTOR SHALL REPAIR ANY EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- Ⓢ PROVIDE 2" CONDUIT WITH PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. COORDINATE WITH SIGN MANUFACTURER.
- Ⓢ PROVIDE 2" CONDUIT WITH PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGN AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.
- Ⓢ LIGHT POLE BASE IS TO BE LEFT WITH THE SACK FINISH. DO NOT PAINT.
- Ⓢ LOCATION OF CABLE INTERNET DEMARC.
- Ⓢ LOCATION OF UTILITY TRANSFORMER. EC IS RESPONSIBLE TO ROUTE CONDUITS AND SECONDARY WIRING PER THE MODULAR BUILDING SINGLE LINE DIAGRAM TO THE CT/METER PANEL PER LOCAL UTILITY STANDARDS.

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SITE PLAN REVIEW

10/12/22

DESIGNER: FRM #22395

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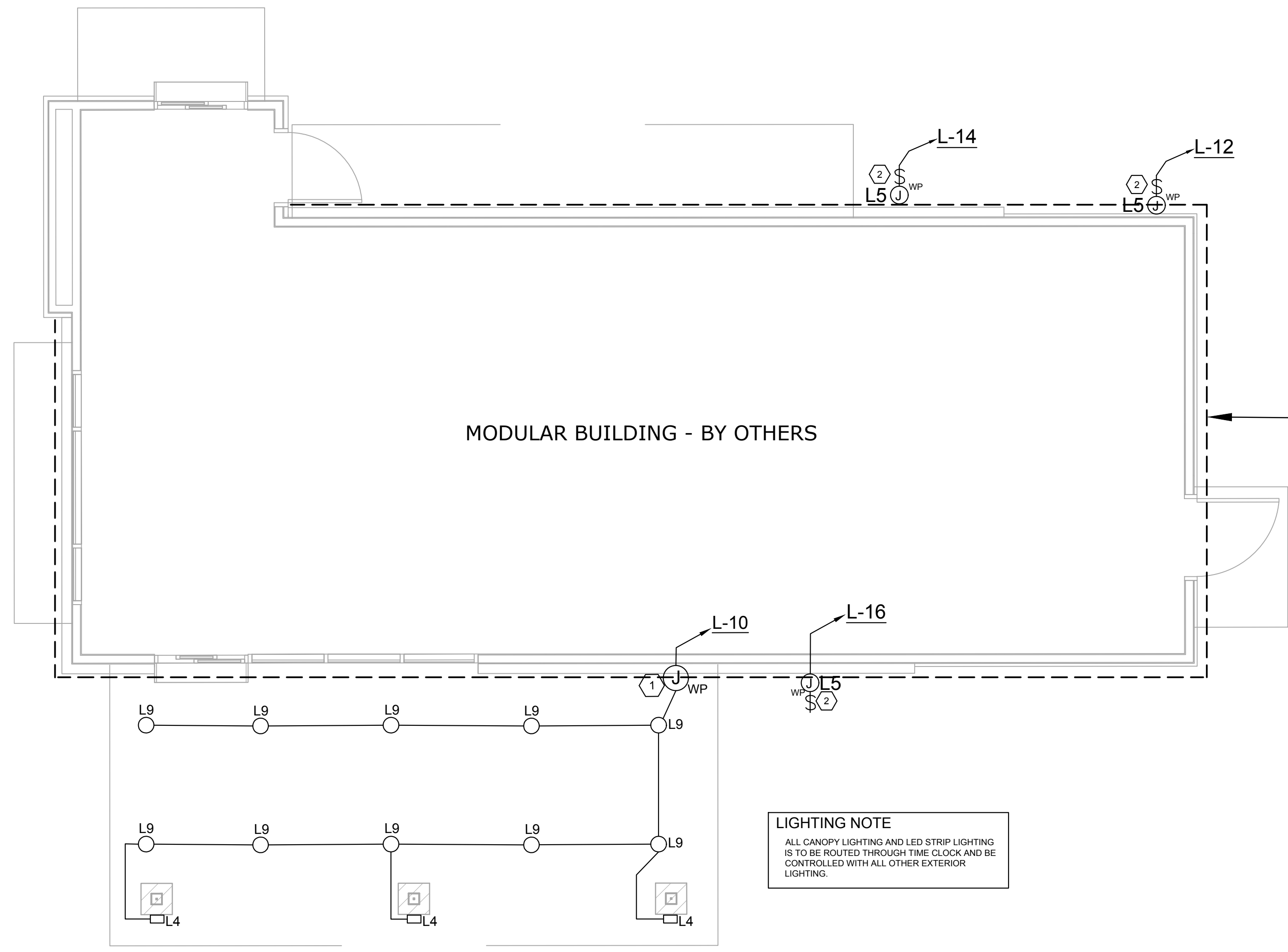
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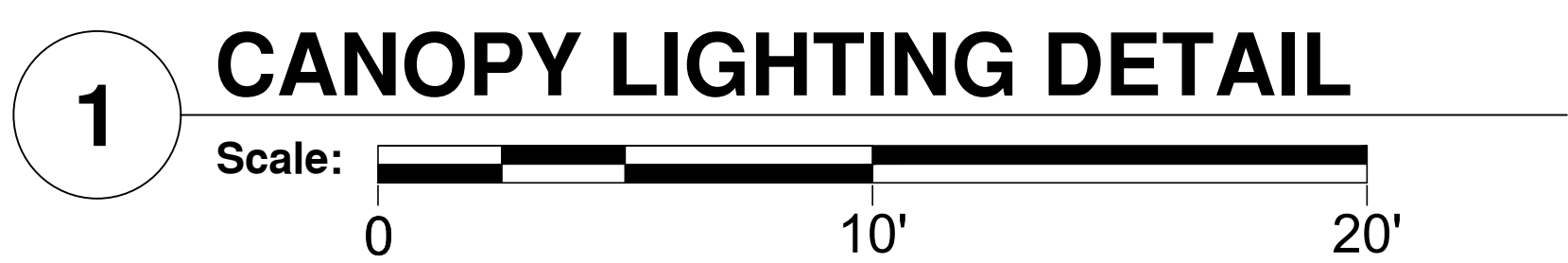
SUBMITTAL RECORD:

SHEET TITLE: ELECTRICAL SITE PLAN

SHEET: ES-1.0



**L5 PERIMETER LIGHTING NOTE**  
 L5 LED STRIP LIGHTING IS TO BE INSTALLED ALONG PERIMETER OF PARAPET #2 ELEVATION INSIDE COVE AT APPROX 20'-10". L5 LIGHTING IS SHOWN WITH A DASHED LINE ON DETAIL 1.



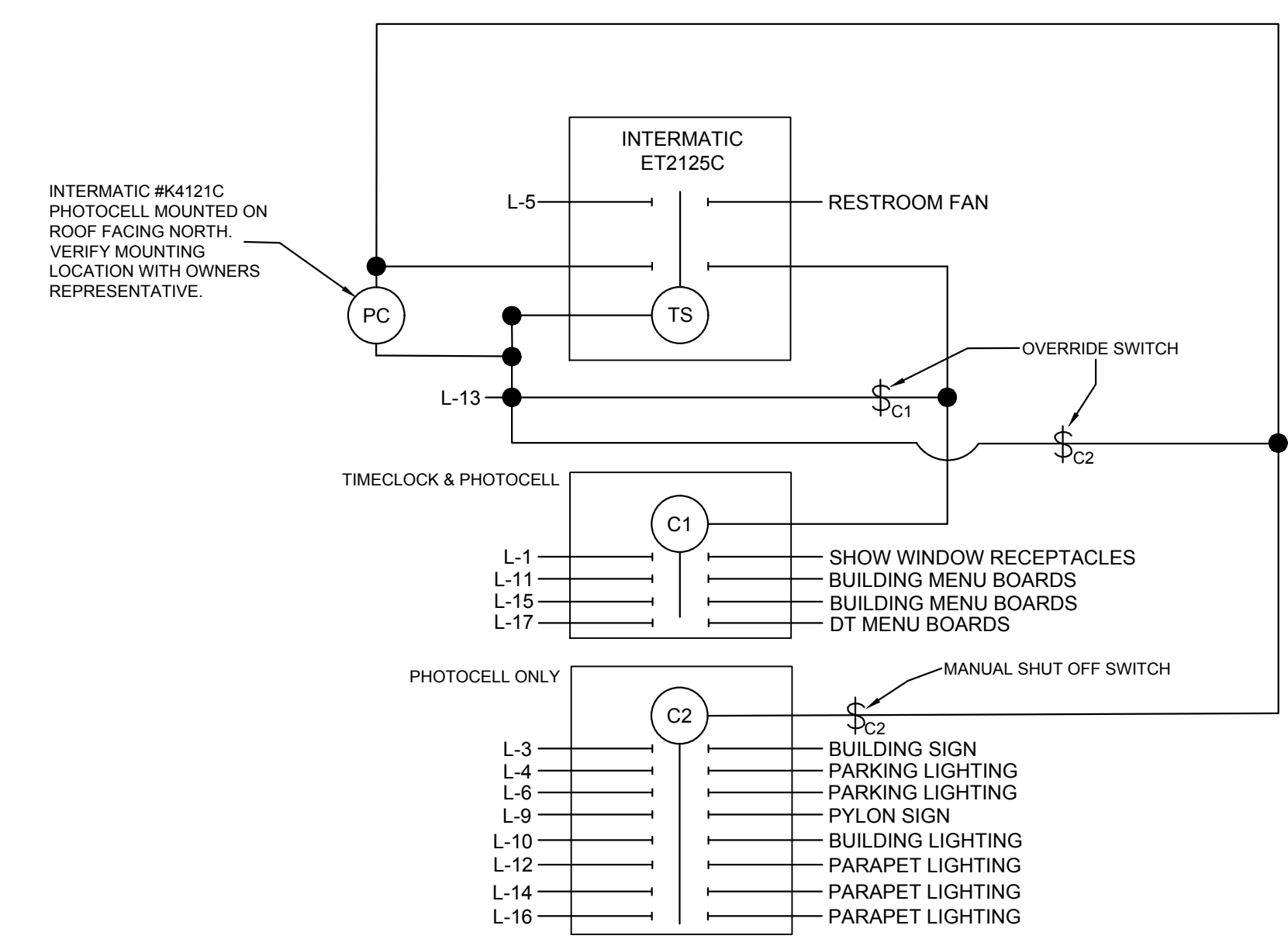
**LIGHTING NOTE**  
 ALL CANOPY LIGHTING AND LED STRIP LIGHTING IS TO BE ROUTED THROUGH TIME CLOCK AND BE CONTROLLED WITH ALL OTHER EXTERIOR LIGHTING.

LIGHTING SCHEDULE							
ID	MANUFACTURER	MODEL #	QTY	LAMP TYPE	VOLTAGE	WATTAGE	DESCRIPTION
L4	LIGMAN	UMT-31416-DBNA / 14/14W-N-W40-02-120/27V	3	LED	120/277	14W	14/14W; NARROW BEAM, 40W, 4000K, DARK GRAY, 120/277V; TO BE USED AT CANOPY COLUMNS ONLY W/BLUE FILTER. VERIFY BEAM DIRECTIONS WITH OWNER. BOTTOM OF FIXTURE AT 8'-0" A.F.F.
L5	LEKTRON	LASER, 120-277VAC, 24VDC (PHILLIPS ADVANCE), 1.5 W / FT., DIMMABLE	115FT	LED	24	1.5W / FT	BLUE LED STRIP LIGHTING AT PERIMETER OF PARAPET 2, REMOTE DRIVER INDOOR / OUTDOOR RATED; LOCATE INSIDE OF BUILDING IN ACCESSIBLE LOCATION. USE TRANSFORMER SIZES PER RUNS/ WIRING GROUPS. MAX RUN LENGTH IS 48'-0". NOTE: GC IS RESPONSIBLE TO PROCURE AND INSTALL THE LED STRIP LIGHTING. MODULAR BUILDING WILL COME PRE-WIRED TO JUNCTION BOXES TO SUPPORT INSTALLATION.
L9	DMF	DRD5S-4-R-07-9-30 / DRDH-N-JO-KH MV, 120V, NON-DIM	10	LED	120/277	12W	USED ONLY FOR APPLICATIONS REQUIRING SURFACE CEILING MOUNTED LIGHTS. RECESSED OCTAGONAL 2" HT. J-BOX HOUSING W/ SURFACE DOWNLIGHT, 4.75" DIAMETER, 1/2" DEEP, WHITE, LED, 750LM, 3000K, WET LISTED
P1	NLS	NV-1-T4-64LSP-1-40K-UNV-ASA-BRZ POLE IS NLS SSP17-4S-11G-98C-SGL-BRZ-34 30-CL	1	LED	120/277	205W	SITE POLE HEAD, LED, 205W, 23000LM, (OR 196W, 19000LM, IF LOWER WATTAGE IS REQUIRED), 4000K, DARK BRONZE, TYPE IV DISTRIBUTION, W/ 17'-0" POLE (VERIFY FOR EACH SITE), 4" SQUARE STRAIGHT 11GA STEEL, INCLUDES ANCHOR BOLTS 12" BOLT CIRCLE 3/4" DIA x 30" LONG. VERIFY PER LOCAL REQUIREMENTS PRIOR TO ORDERING - POLE LENGTH, WATTAGE/LUMENS, KELVIN LIGHT TEMPERATURE, MOUNTING CONFIGURATION - SINGLE/DOUBLE HEAD AND COLOR. HEAD BRACKET HOLES ARE FACTORY PRE-DRILLED GIVEN AVAILABLE LEAD TIME. CUT AND DRILL IN FIELD IF REQUIRED SHORTENED, VERIFY HEIGHT AND COLOR WHEN ORDERING.
P2	NLS	NV-1-T4-64LSP-1-40K-UNV-ASA-BRZ POLE IS NLS SSP17-4S-11G-98C-D-180-BRZ-34 30-CL	3	LED	120/277	205W EACH	(2) SITE POLE HEADS, LED, 205W, 23000LM, (OR 196W, 19000LM, IF LOWER WATTAGE IS REQUIRED), 4000K, DARK BRONZE, TYPE IV DISTRIBUTION, W/ 17'-0" POLE (VERIFY FOR EACH SITE), 4" SQUARE STRAIGHT 11GA STEEL, INCLUDES ANCHOR BOLTS 12" BOLT CIRCLE 3/4" DIA x 30" LONG. VERIFY PER LOCAL REQUIREMENTS PRIOR TO ORDERING - POLE LENGTH, WATTAGE/LUMENS, KELVIN LIGHT TEMPERATURE, MOUNTING CONFIGURATION - SINGLE/DOUBLE HEAD AND COLOR. HEAD BRACKET HOLES ARE FACTORY PRE-DRILLED GIVEN AVAILABLE LEAD TIME. CUT AND DRILL IN FIELD IF REQUIRED SHORTENED, VERIFY HEIGHT AND COLOR WHEN ORDERING.

**PURCHASING:** THE ABOVE LIGHTING MATERIAL IS TO BE PURCHASED AS A "LIGHTING PACKAGE" FROM DUTCH BROTHERS COFFEE'S NATIONAL ACCOUNTS FROM THE REQUIRED LIGHTING VENDORS LISTED BELOW. MADE AVAILABLE TO FRANCHISEES AND THEIR CONTRACTORS AT ESTABLISHED DISCOUNT PRICING, USED FROM NEGOTIATED STOCK INVENTORIED PRODUCT COMMITTED TO, AND OBLIGATED FOR USE BY DUTCH BROS COFFEE. FOR QUOTATION, ORDER PLACEMENT AND DELIVERY. IF ANYTHING OTHER THAT ABOVE IS INSTALLED WITHOUT EXPRESSED WRITTEN CONSENT BY DUTCH BROS COFFEE CORPORATE OFFICE AND THE FRANCHISEE, CONTRACTOR WILL BE REQUIRED TO REMOVE IT AND REPLACE IT WITH THE ABOVE.

**REQUIRED LIGHTING VENDORS:**

- IMPERIAL LIGHTING - KURT TOMASOVICH - 760-636-0762 - KURT@IMPERIAL-LIGHTING.COM
- GRAYBAR - DAVID (DAVE) ARRINGTON - 817-213-0850 - DAVE.ARRINGTON@GRAYBAR.COM
- VILLA LIGHTING SUPPLY - NICK BECKER - 314-478-3141 - NICK.BECKER@VILLALIGHTING.COM



**2 LIGHTING CONTROL DIAGRAM**  
 Scale: NOT TO SCALE

**GENERAL NOTES**

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ORDERING AND INSTALLING LIGHTING IN THE DUTCH BROTHERS OUTDOOR CANOPY. COORDINATE INSTALLATION WITH THE MODULAR BUILDING AFTER DELIVERY.

**KEYED NOTES**

- TIE LIGHTING CIRCUIT INTO JUNCTION BOX LOCATED IN THE CANOPY SOFFIT (PROVIDED BY MODULAR BUILDING MANUFACTURER). JUNCTION BOX WILL HAVE CONDUIT RUNNING TO PANEL 'A' ON THE INTERIOR OF THE MODULAR BUILDING. ENSURE THE LIGHTING CIRCUIT IS TIED INTO THE TIME CLOCK.
- POWER FOR PARAPET LIGHTING DRIVER. EC TO COORDINATE WITH LEKTRON AND/OR MODULAR BUILDING MANUFACTURER FOR TRANSFORMER LOCATIONS.

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 730 Sandhill Rd., #250, Reno, Nevada 89521  
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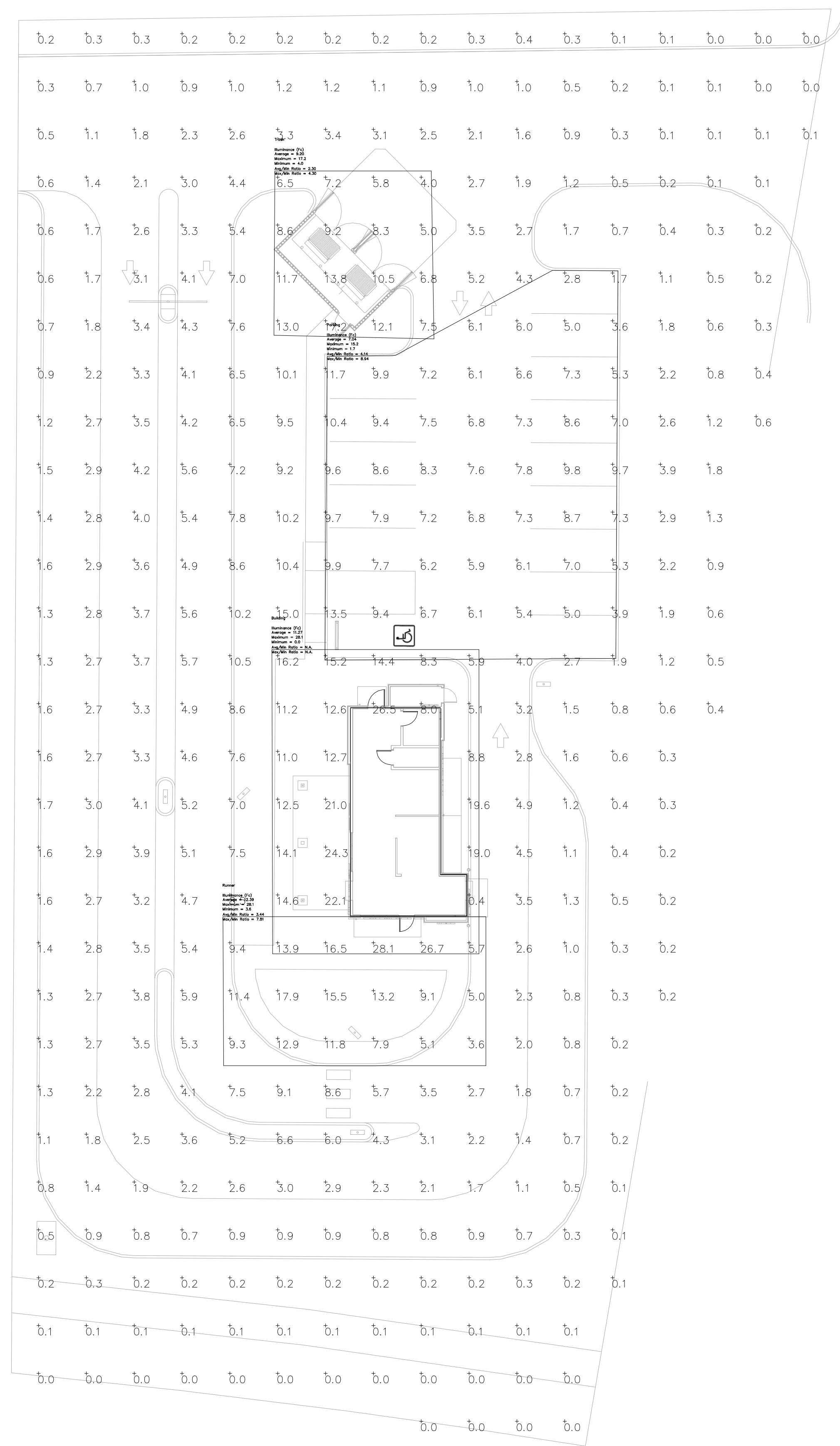
**Dutch Bros No.: TX0306**  
 West Villa Maria Road, Bryan, TX 77807  
**MAIN & MAIN**  
 CAPITAL GROUP, LLC  
 5750 Genesis Ct, Suite 103, Frisco, Texas 75034  
 tel 214-308-0008

**PROJECT/CLIENT:** #22122

**DATE:** 10/12/22  
**SUBMITTAL RECORD:** 10/12/22 SITE PLAN REVIEW

**SHEET TITLE:** CANOPY LIGHTING DETAIL  
**SHEET:** ES-1.1

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 DRAWN: S.B.G.  
 DESIGNED: S.B.G.  
 CHECKED/STAMPED: SCOTT B. GARRISON, P.E.  
 STAMP: 10/12/22



**1 PHOTOMETRIC CALCULATIONS**  
 Scale: 0 30' 60'

**Photometric Statistics**

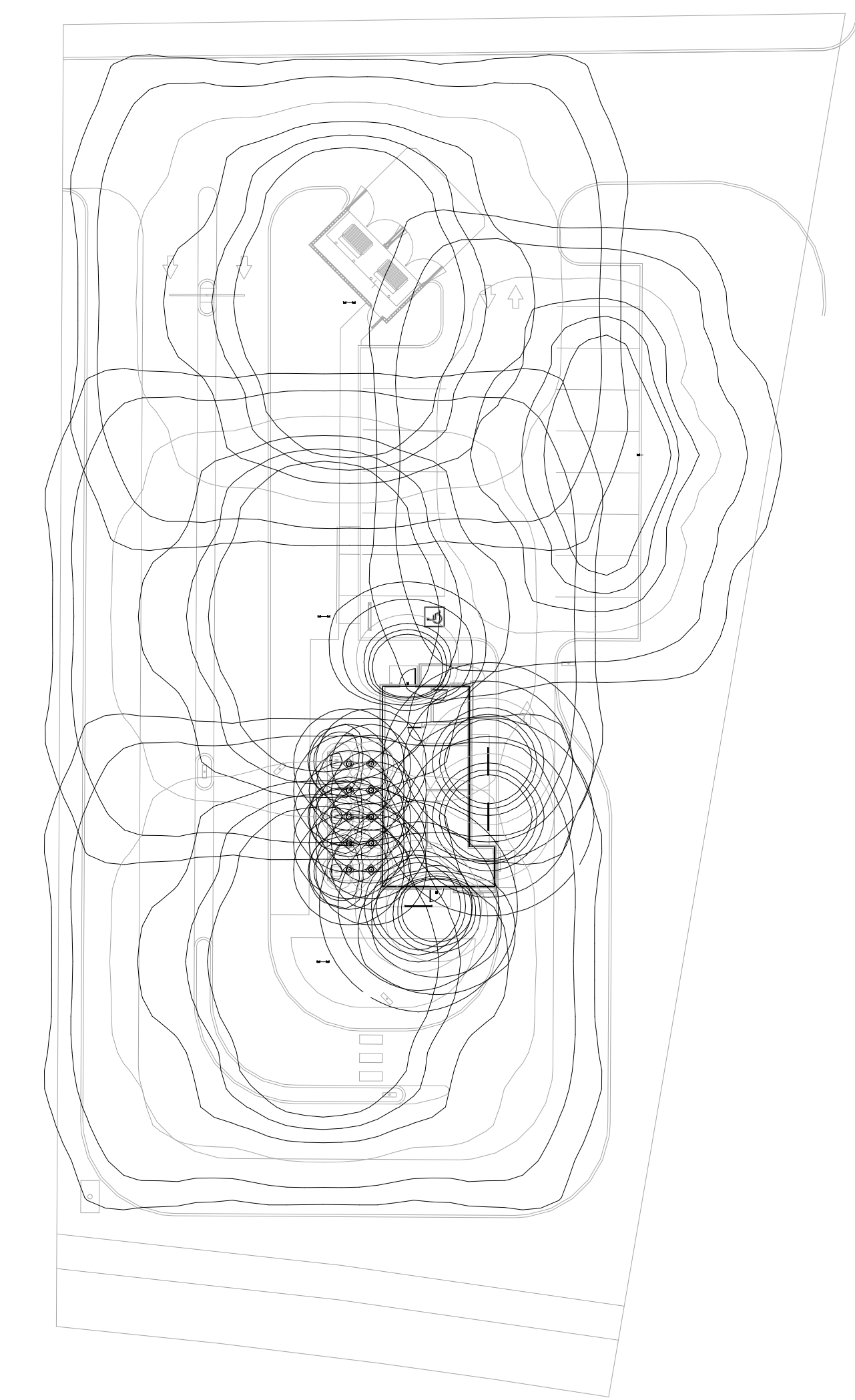
**SITE**  
 ILLUMINANCE (FC)  
 AVERAGE=4.08 MAXIMUM=28.1 MINIMUM=0.0 AVG/MIN=N.A. MAX/MIN=N.A.

**BUILDING**  
 ILLUMINANCE (FC)  
 AVERAGE=14.61 MAXIMUM=28.1 MINIMUM=0.4 AVG/MIN=36.53 MAX/MIN=70.25

**PARKING**  
 ILLUMINANCE (FC)  
 AVERAGE=7.04 MAXIMUM=15.2 MINIMUM=1.7 AVG/MIN=4.14 MAX/MIN=8.94

**RUNNER**  
 ILLUMINANCE (FC)  
 AVERAGE=12.39 MAXIMUM=28.1 MINIMUM=3.6 AVG/MIN=3.44 MAX/MIN=7.81

**TRASH**  
 ILLUMINANCE (FC)  
 AVERAGE=9.20 MAXIMUM=17.2 MINIMUM=4.0 AVG/MIN=2.30 MAX/MIN=4.30



**2 LIGHTING DISTRIBUTION AREAS**  
 Scale: 0 40' 80'

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DRAWN: S.B.G.  
 DESIGNED: S.B.G.  
 CHECKED/STAMPED: SCOTT B. GARRISON, P.E.

**SITE PLAN REVIEW**

STAMP: 10/12/22

DESIGNER: FIRM #22395

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PROJECT/CLIENT: #22122

DATE: 10/12/22  
 SUBMITTAL: SITE PLAN REVIEW

SHEET TITLE: PHOTOMETRIC SITE PLAN

SHEET: ES-2.0